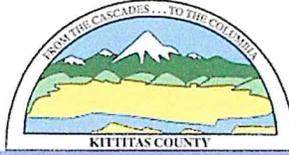


SP-16-00005



**KITITITAS COUNTY COMMUNITY DEVELOPMENT SERVICES**

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITITITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

**SHORT PLAT APPLICATION**

*(To divide a lot into no more than 4 lots, according to KCC 16.32)*

**Please type or print clearly in ink. Attach additional sheets as necessary. Pursuant to KCC 15A.03.040, a complete application is determined within 28 days of receipt of the application submittal packet and fee. The following items must be attached to the application packet.**

**REQUIRED ATTACHMENTS**

- Five large copies of short plat with all preliminary drawing requirements complete (reference KCC Title 16 Subdivision Code for plat drawing requirements) and one small 8.5"x11"copy.
- Project Narrative responding to Questions 9-11 on the following pages.

**OPTIONAL ATTACHMENTS**

(Optional at submittal, required at the time of final submittal)

- Certificate of Title (Title Report)
- Computer lot closures

**APPLICATION FEES:**

\$2,320.00	Kittitas County Community Development Services (KCCDS)
\$220.00	Kittitas County Department of Public Works
\$130.00	Kittitas County Fire Marshal
\$570.00	Public Health Proportion (Additional fee of \$75/hour over 4 hours)
<b>\$3,240.00</b>	<b>Total fees due for this application (One check made payable to KCCDS)</b>

**FOR STAFF USE ONLY**

Application Received By (CDS Staff Signature):

CJB

DATE:

12.22.16

RECEIPT #

32598

RECEIVED

DEC 22 2016

KITITITAS COUNTY

CDS

DATE STAMP IN BOX

**GENERAL APPLICATION INFORMATION**

**1. Name, mailing address and day phone of land owner(s) of record:**

*Landowner(s) signature(s) required on application form.*

Name: Double K Ranch LLC  
Mailing Address: 10161 Upper Badger Pocket Rd  
City/State/ZIP: Ellensburg, WA 98926  
Day Time Phone: (509) 968-4410  
Email Address: \_\_\_\_\_

**2. Name, mailing address and day phone of authorized agent, if different from landowner of record:**

*If an authorized agent is indicated, then the authorized agent's signature is required for application submittal.*

Agent Name: Chris Cruse / Cruse & Assoc.  
Mailing Address: P.O. Box 959  
City/State/ZIP: Ellensburg, WA 98926  
Day Time Phone: (509) 962-8242  
Email Address: cruseandassoc@kvalley.com

**3. Name, mailing address and day phone of other contact person**

*If different than land owner or authorized agent.*

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City/State/ZIP: \_\_\_\_\_  
Day Time Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**4. Street address of property:**

Address: \_\_\_\_\_  
City/State/ZIP: \_\_\_\_\_

**5. Legal description of property (attach additional sheets as necessary):**

Part of Section 5, T. 16 N., R. 20 E., W. 1 N.

6. Tax parcel number(s): 054533

7. Property size: 167.20 Ac (acres)

**8. Land Use Information:**

Zoning: A9-20 Comp Plan Land Use Designation: Rural Working

**PROJECT NARRATIVE**

(INCLUDE RESPONSES AS AN ATTACHMENT TO THIS APPLICATION)

9. **Narrative project description (include as attachment):** Please include at minimum the following information in your description: describe project size, location, water supply, sewage disposal and all qualitative features of the proposal; include every element of the proposal in the description.

10. **Are Forest Service roads/easements involved with accessing your development?** If yes, explain. *No.*

11. **What County maintained road(s) will the development be accessing from?**

*Upper Badger Pocket Rd.*

**AUTHORIZATION**

12. Application is hereby made for permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I hereby grant to the agencies to which this application is made, the right to enter the above-described location to inspect the proposed and or completed work.

*All correspondence and notices will be transmitted to the Land Owner of Record and copies sent to the authorized agent or contact person, as applicable.*

Signature of Authorized Agent:  
(REQUIRED if indicated on application)

X *Chris Cruise*

Date:

*12/20/2016*

Signature of Land Owner of Record  
(Required for application submittal):

X *Quata Kelley*

Date:

*12/22/2016*

## DOUBLE K SHORT PLAT NARRATIVE

The purpose of this application is to split the property to create two parcels, 40.33 acres with the house and 125.85 acres of remaining farm ground. Both parcels will continue the current agricultural use. Future development of Lot 2, if any, will share use of the existing well on Lot 1 and have its own on-site sewage system as allowed by code at time of development. Access to Lots 1 and 2 will be a 60' private easement from Upper Badger Pocket Road. See application map for additional information.



Kittitas Title and Escrow, LLC  
208 West 9th Avenue, Suite 6  
Ellensburg, WA 98926  
Phone: (509) 933-4324  
Fax: (509) 933-4329

Title Officer: Sue Wheelock  
Phone: (509) 933-4324  
E-mail: sue@kittitastitle.com

Reference: Double K Ranch  
Loan No.:

Order Number: 38466

### COMMITMENT FOR TITLE INSURANCE SCHEDULE A

1. **Effective Date:** September 19, 2016 at 8:00 AM

2. **Policy Or Policies To Be Issued:**

(X) ALTA OWNER'S POLICY, (6/17/06)  
(X) STANDARD ( ) EXTENDED

General Schedule Rate  
(Underwriting fee = 11% percent of premium)

Proposed Insured: **To be determined**

**Amount:** To Be Determined  
**Premium:**  
**Tax:**  
**Total:**

(Underwriting fee = 11% percent of premium)

3. **The estate or interest in the land described or referred to in this Commitment and covered herein is:**

Fee Simple

4. **Title to said estate or interest in said land is at the effective date hereof vested in:**

Double K Ranch, L.L.C., a Washington limited liability company

5. **The land referred to in this commitment is described in Exhibit "A":**

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

Order No.: 38466

The Southwest Quarter of the Northeast Quarter and the South half of the Northwest Quarter; and that portion of Government Lots 2, 3 and 4, all in Section 5, Township 16 North, Range 20 East, W.M., in the County of Kittitas, State of Washington, lying South of the South and East boundary line of right-of-way of the Wippel Creek Wasteway of the Kittitas Reclamation District, as located on April 1, 1946, described as follows:

Beginning at a point on the South boundary line of said Lot 2, which is 911.0 feet West of the Southeast corner thereof, and running thence North 43°00' West, 230.00 feet to the South boundary line of the right-of-way of Wippel Creek Wasteway; thence Northwesterly along said boundary line to a point on the West line of said Lot 4, which is 647 feet South of the Northwest corner thereof; thence along said West line South 1°36' East to the Southwest corner thereof; and thence East to the point of beginning;

AND

That portion of the Northwest Quarter of Southeast Quarter and of the Northeast Quarter of the Southwest Quarter, all in Section 5, Township 16 North, Range 20 East, W.M., in the County of Kittitas, State of Washington, described as follows:

Beginning at the Northeast corner of the Northwest Quarter of the Southeast Quarter of said Section and running thence South on the East line of said Quarter of Quarter Section, 98 feet to the right-of-way line of the United States Bureau of Reclamation Lateral Ditch; thence along said right-of-way line North 89°13' West, 476.2 feet; thence South 71°58' West, 250.4 feet; thence South 64°30' West, 664 feet to the center Section line; thence South 72°21' West, 184.7 feet; thence North 88°43' West, 261.2 feet to the right-of-way of Badger Creek Wasteway; thence along said wasteway North 48°03' West, 181 feet; thence North 45°41' West, 449.4 feet to the center section line; thence North 89°59' East, 2141.7 feet to the point of beginning.

EXCEPT, right-of-way for canals heretofore conveyed to the United States of America by deed recorded in Book 52 of Deeds, Page 413.

Abbreviated Legal: Ptn. SW 1/4 NE 1/4 and S 1/2 NW 1/4 and Ptn. Gvt. Lts. 2,3 and 4 Sec. 5, Twp 16 N, Rge 20 E, W.M. and Ptn. NW 1/4 SE 1/4 and NE 1/4 SW 1/4 Sec. 5, Twp 16 N, Rge 20 E, W.M.

Purported Address:  
10161 Upper Badger Pocket Road, Ellensburg, WA 98926

**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B  
PART I**

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

**GENERAL EXCEPTIONS:**

- A. Taxes or assessments which are not shown as existing liens by the public records.
- B. (i) Unpatented mining claims; (ii) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (iii) water rights, claims or title to water; whether or not the matters described (i), (ii) & (iii) are shown in the public records; (iv) Indian tribal codes or regulations, Indian treaty or aboriginal rights, including easements or equitable servitudes.
- C. Extended coverage exceptions as follows:
  - (1) Rights or claims of parties in possession not shown by the public records.
  - (2) Easements, claims of easement or encumbrances which are not shown by the public records.
  - (3) Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises and which are not shown by the public records.
  - (4) Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished imposed by law and not shown by the public records.
- D. Any service, installation, connection, maintenance, tap, capacity, construction or reimbursement charges for sewer, water, electricity or other utilities, or for garbage collection and disposal.
- E. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
- F. Any titles or rights asserted by anyone, including but not limited to persons, corporations, governments, or other entities, to tidelands, or lands comprising the shores or bottoms of navigable rivers, lakes, bays, ocean or gulf, or lands beyond the line of the harbor or bulkhead lines as established or changed by the United States Government, or riparian rights, if any.

**SPECIAL EXCEPTIONS FOLLOW**

**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B  
PART I**

**SPECIAL EXCEPTIONS**

1. LIEN OF THE REAL ESTATE EXCISE SALES TAX and surcharge upon any sale of said premises, if unpaid. As of the date herein, the excise tax rate is 1.53% and an additional County Real Estate Excise Tax Affidavit processing fee of \$5.00.

2. LIABILITY, IF ANY, TO ASSESSMENTS levied by Kittitas Reclamation District.

Kittitas Reclamation District: (509) 925-6158

3. FUTURE LIABILITY, IF ANY, TO ASSESSMENTS levied by Kittitas Reclamation District.

4. GENERAL TAXES. The first half becomes delinquent after April 30th. The second half becomes delinquent after October 31st.

Year:	2016
Amount billed:	\$3,457.53
Amount paid:	\$1,728.77
Amount due:	\$1,728.76, plus interest and penalty, if delinquent
Levy code:	26
Land use/DOR code:	83
Map number:	16-20-05000-0003
Parcel number:	054533
Assessed value of land:	\$598,200.00
Assessed value of improvement:	\$180,240.00

5. POTENTIAL TAXES, PENALTIES AND INTEREST incurred by reason of a sale of the land, a change in the use or a withdrawal from the classified use of the property herein described pursuant to RCW 84.26, RCW 84.33 or RCW 84.34.

**If the subject property is to continue under the special valuation, the notice of compliance on the forthcoming excise tax affidavit must be properly completed and submitted for approval to the Assessor's office before the time of recordation of the conveyance. Additional time will be required for this process.**

**If the subject property will not continue under the special valuation, Kittitas County will not accept an instrument of conveyance for recording unless the compensating tax has been paid.**

**The County Assessor's office requires 15 days advance notice regarding said matter.**

6. MORTGAGE AND THE TERMS AND CONDITIONS THEREOF.

Mortgagor:	Krista L. Orsborn, a married person as her separate estate and Double K Ranch LLC, a Washington limited liability company
Mortgagee:	David G. Kelly and Jeanne D. Kelly, husband and wife
Amount:	\$616,500.00
Dated:	July 25, 2010
Recorded:	September 9, 2010
Recording no.:	201009090011

7. MEMORANDUM OF LEASE AND THE TERMS AND CONDITIONS THEREOF:

Recorded:	December 30, 2015
Recording Number:	201512300002

8. RIGHT, TITLE AND INTEREST OF Krista L. Orsborn as disclosed by execution of the document referenced below. At the date of the document, said party(s) had no interest in the premises nor has the party(s) since acquired any.

Document: Mortgage  
Dated: July 25, 2010  
Recorded: September 9, 2010  
Recording no.: 201009090011

9. RIGHT, TITLE AND INTEREST OF Krista Kelly as disclosed by execution of the document referenced below. At the date of the document, said party(s) had no interest in the premises nor has the party(s) since acquired any.

Document: Memorandum of Lease  
Dated: December 16, 2015  
Recorded: December 30, 2015  
Recording no.: 201523000002

10. EVIDENCE OF THE AUTHORITY of the individual(s) to execute the forthcoming document for Double K Ranch, a Washington Limited Liability Company, copies of the current operating agreement must be submitted prior to closing.

11. ACCORDING TO THE APPLICATION FOR TITLE INSURANCE, title is to vest in persons not yet revealed and when so vested will then be subject to matters disclosed by a search of the records against their names.

12. EASEMENT, including terms and provisions contained therein:

Recorded: April 20, 1934  
Recording no.: 115811  
In favor of: United States of America  
For: Right of way for construction of the Badger Wasteway Channel of the Yakima-Kittitas Federal Irrigation Project  
Affects: The legal description contained in said easement is not sufficient to determine its exact location.

Refer to the record of said instrument for full particulars.

13. EASEMENT, including terms and provisions contained therein:

Recorded: September 4, 1936  
Recording no.: 128904  
In favor of: Puget Sound Power & Light Company  
For: An electric transmission and distribution line and all other stated purposes  
Affects: The legal description contained in said easement is not sufficient to determine its exact location.

Refer to the record of said instrument for full particulars.

14. PENDENCY OF YAKIMA COUNTY SUPERIOR COURT CAUSE NUMBER 77-2-01484-5, State of Washington Department of Ecology, plaintiff vs. James J. Acquavella, et al, defendants; notice of which is given by Lis Pendens recorded on October 14, 1977 under Auditor's file number 417302 and by supplemental notice of Lis Pendens recorded on June 4, 1980 under Auditor's file number 442263; being an action for the determination of the rights to divert, withdraw, or otherwise make use of the surface waters of the Yakima River Drainage Basin, in accordance with the provisions of Chapters 90.03 and 90.44, Revised Code of Washington.

Attorney for plaintiff: Charles B. Roe, Jr., Senior Assistant Attorney General

NOTE: The policy/policies to be issued include as one of the General Exceptions "Water rights, claims or title to water", the action referred to herein involves such water rights and so will not appear on said policy/policies as a Special Exception.

**See next page for notes**

**NOTES:**

**NOTE 1:** Upon the cancellation of this commitment, if no transaction is consummated in reliance thereon, the charge shall be reduced to an amount which, in the opinion of the Company, is reasonable compensation for work performed.

**END OF SPECIAL EXCEPTIONS**

# Double K SP ①

FROM		ANGLE		DIST	NORTH	EAST	TO
=====							
PT/PT INVERSE ① Lot 1							
*****	START						
569	INV	N 61 23 00	E	11.40	14686.11154	4521.90279	569
	RADIAL	N 28 37 00	W		14691.57045	4531.90820	570
	DELTA	14 31 00	RT				
	RADIUS				457.50		
	TAN				58.27		
	L-ARC				115.91		
	RADIAL	N 14 08 00	W				
	RP						
570	CHORD	N 68 38 30	E	115.60	14289.95696	4751.02656	557
	TAN@PT	N 75 54 00	E		14733.67340	4639.57269	571
571	INV	N 75 54 00	E	34.40	14754.23451	4721.42989	572
	RADIAL	N 14 08 00	W				
	DELTA	19 04 00	RT				
	RADIUS				553.00		
	TAN				92.87		
	L-ARC				184.03		
	RADIAL	N 4 53 00	E				
	RP						
572	CHORD	N 85 26 00	E	183.18	14217.89529	4856.14899	560
	TAN@PT	S 85 02 00	E		14768.81890	4904.02581	573
573	INV	S 85 02 00	E	471.65	14727.98498	5373.90781	574
574	INV	S 66 02 00	E	377.68	14574.57026	5719.02312	575
575	INV	S 71 54 00	E	110.36	14540.28359	5823.92334	576
576	INV	S 71 54 00	F	1013.78	14225.32505	6787.54020	577
577	INV	S 84 00 00	E	254.33	14198.73997	7040.48034	578
578	INV	S 38 34 00	E	158.77	14071.22188	7135.08857	579
579	INV	N 87 47 00	E	182.71	14078.28866	7317.63744	580
580	INV	S 73 51 04	W	115.04	14046.29071	7207.13258	756
756	INV	N 89 44 15	W	300.76	14047.66879	6906.37666	755
755	INV	N 81 54 01	W	339.09	14095.44506	6570.67407	754
754	INV	N 68 23 29	W	372.70	14232.69706	6224.16553	733
733	INV	N 66 12 57	W	92.39	14269.95641	6139.62395	732
732	INV	N 62 39 47	W	405.84	14456.32637	5779.11114	731
731	INV	N 74 47 56	W	142.31	14493.64133	5641.77969	730
730	INV	N 81 59 18	W	330.52	14539.70666	5314.48926	729
729	INV	S 85 11 05	W	100.54	14531.26728	5214.30569	728
728	INV	S 74 26 38	W	23.57	14524.94570	5191.59720	727
727	INV	S 10 59 45	E	25.37	14500.04054	5196.43644	726
726	INV	S 20 13 54	E	44.29	14458.48434	5211.75227	725
725	INV	S 32 06 17	E	48.77	14417.18987	5237.67344	724
724	INV	S 43 24 52	E	142.57	14313.60749	5335.65687	723
723	INV	S 40 37 07	E	110.18	14229.97498	5407.38588	722
722	INV	S 46 13 53	E	135.43	14136.29637	5505.18487	721
721	INV	S 40 52 14	E	51.54	14097.31901	5538.91319	720
720	INV	S 36 08 18	E	121.17	13999.48320	5610.37089	719
719	INV	S 38 56 31	E	64.24	13949.49714	5650.74873	757
757	INV	S 39 27 23	E	48.04	13912.40174	5681.28055	718
718	INV	S 26 01 50	E	149.00	13778.51560	5746.66965	717
717	INV	S 21 16 17	E	165.20	13624.56769	5806.60297	716
716	INV	S 23 00 38	E	136.32	13499.09217	5859.89149	715
715	INV	S 28 53 35	E	34.22	13469.16019	5876.46686	714
714	INV	S 32 54 09	E	75.54	13405.73355	5917.50312	713
713	INV	S 30 16 54	E	33.03	13377.21115	5934.15808	712
712	INV	S 25 44 23	E	46.36	13335.45227	5954.29083	711
711	INV	S 22 23 26	E	84.99	13256.87215	5986.66393	710
710	INV	S 19 34 06	E	95.06	13167.30150	6018.50289	709
709	INV	S 16 51 55	E	45.61	13123.65193	6031.73576	708

714	INV	S	32	44	00	E	33.03	13377.21115	5934.15808	712
713	INV	S	25	44	00	E	48.36	1332.45227	5954.29083	711
712	INV	S	22	23	26	E	84.99	1325.87215	5986.66393	710
711	INV	S	19	04	06	E	95.06	13167.30150	6018.50289	709
710	INV	S	16	51	55	E	45.61	13123.65193	6031.73576	708
709	INV	S	13	43	09	E	57.11	13067.55447	6042.44816	707
708	INV	S	4	13	57	E	162.91	12905.10386	6054.70585	706
707	INV	S	32	08	9	W	15.11	12892.90371	6046.67489	705
706	INV	N	51	39	48	W	34.46	12913.68178	6019.64231	598
705	RADIAL	N	38	20	17	E				
	DELTA		28	20	00	LT				
	RADIUS						598.00			
	TAN						150.95			
	L-ARC						285.72			
	RADIAL	N	10	00	17	E				
	RP							12444.83187	5848.70272	597
596	CHORD	N	65	49	43	W	292.71	13033.53832	5752.59301	598
	TAN@PT	N	79	59	43	W				
598	INV	N	79	59	43	W	139.10	13057.70411	5615.60824	599
	RADIAL	S	10	00	17	W				
	DELTA		43	20	00	RT				
	RADIUS						204.20			
	TAN						81.12			
	L-ARC						154.44			
	RADIAL	S	53	20	17	W				
	RP							13258.79892	5651.08382	600
599	CHORD	N	58	19	43	W	150.78	13136.87267	5487.28019	601
	TAN@PT	N	36	39	43	W				
601	INV	N	36	39	43	W	114.70	13228.88186	5418.79370	602
	RADIAL	N	53	20	17	E				
	DELTA		30	10	00	LT				
	RADIUS						598.00			
	TAN						161.17			
	L-ARC						314.85			
	RADIAL	N	23	10	17	E				
	RP							12871.82067	4939.09452	603
602	CHORD	N	51	44	43	W	311.23	13421.58112	5174.39741	604
	TAN@PT	N	66	49	43	W				
604	INV	N	66	49	43	W	427.00	13589.59840	4781.84271	605
	RADIAL	S	23	10	17	W				
	DELTA		35	50	00	RT				
	RADIUS						261.50			
	TAN						84.55			
	L-ARC						163.54			
	RADIAL	S	59	00	17	W				
	RP							13830.00368	4884.73854	606
605	CHORD	N	48	54	43	W	160.89	13695.33975	4660.57816	607
	TAN@PT	N	30	59	43	W				
607	INV	N	30	59	43	W	53.10	13740.85759	4633.23340	608
	RADIAL	N	59	00	17	E				
	DELTA		6	12	49	LT				
	RADIUS						1457.50			
	TAN						79.11			
	L-ARC						158.06			
	RADIAL	N	52	47	28	E				
	RP							12990.29286	3383.85002	609
608	CHORD	N	34	06	07	W	157.98	13871.67551	4544.65615	611
	TAN@PT	N	37	12	32	W				
611	INV	N	1	36	01	W	814.75	14686.11154	4521.90279	569
								14686.11154	4521.90279	569

Lot 1 Cont.

NO CLOSURE ERROR

Area = 1758816.67 sq ft

40.32637 ac

# Double K

FROM		ANGLE		DIST	NORTH	EAST	TO
=====							
*****	PT/PT INVERSE	<i>Parcel Z - SW of</i>					
*****	START	<i>Badger</i>			13782.63364	4547.14377	612
	RADIAL	N	55 44 26	E			
	DELTA		3 15 51	RT			
	RADIUS			1407.50			
	TAN			40.10			
	L-ARC			80.19			
	RADIAL	N	59 00 17	E			
	RP				12990.29286	3383.85002	609
612	CHORD	S	32 37 39	E	80.18	13715.10923	613
	TAN@PT	S	30 59 43	E		4590.37291	
613	INV	S	30 59 43	E	53.10	13669.59139	614
	RADIAL	S	59 00 17	W		4617.71767	
	DELTA		35 50 00	LT			
	RADIUS			311.50			
	TAN			100.71			
	L-ARC			194.82			
	RADIAL	S	23 10 17	W			
	RP				13830.00368	4884.73854	606
614	CHORD	S	48 54 43	E	191.86	13543.63181	615
	TAN@PT	S	66 49 43	E		4762.16856	
615	INV	S	66 49 43	E	427.00	13375.81453	616
	RADIAL	N	23 10 17	E		5154.72326	
	DELTA		30 10 00	RT			
	RADIUS			548.00			
	TAN			147.69			
	L-ARC			288.53			
	RADIAL	N	53 20 17	E			
	RP				12871.82067	4939.09452	603
616	CHORD	S	51 44 43	E	285.21	13199.02725	617
	TAN@PT	S	36 39 43	E		5378.68508	
617	INV	S	36 39 43	E	114.70	13107.01806	618
	RADIAL	S	53 20 17	W		5447.17156	
	DELTA		43 20 00	LT			
	RADIUS			254.20			
	TAN			100.99			
	L-ARC			192.25			
	RADIAL	S	10 00 17	W			
	RP				12358.76801	5851.08382	600
618	CHORD	S	58 19 43	E	187.70	13008.46447	619
	TAN@PT	S	79 59 43	E		5008.92177	
619	INV	S	79 59 43	E	139.10	12854.24805	620
	RADIAL	N	10 00 17	E		5743.00653	
	DELTA		28 20 00	RT			
	RADIUS			548.00			
	TAN			138.33			
	L-ARC			270.98			
	RADIAL	N	38 20 17	E			
	RP				12444.63187	5648.70272	597
620	CHORD	S	65 49 43	E	268.24	12874.43358	621
	TAN@PT	S	51 39 43	F		5988.62730	
621	INV	S	51 39 43	E	378.80	12451.84980	622
	RADIAL	N	38 20 17	F		9271.05724	
	DELTA		2 48 33	RT			
	RADIUS			1121.00			
	TAN			17.65			
	L-ARC			65.28			
	RADIAL	N	04 04 00				
	RP				12300.00000	5711.00000	593
=====							

	RADIAL								
622	BOARD	S	50	18	57	55.24	12574.8271	4574.70058	594
	FAN@P1	S	40	18	10		12574.8271	4574.70058	623
623	INV	S	38	18	47	1225.42	12574.8271	4574.70058	463
463	INV	N	38	18	47	8.21	12574.71456	4580.89003	MARTIN COR
624	INV	N	36	01		1208.39	13782.63364	4547.14377	824
							13782.63364	4547.14377	612

NO CLOSURE ERROR      Area = 1003966.78 sq ft      13782.63364      4547.14377      612  
 23.04791 ac

② SW of Badger Wasteway Cent.

PT/PT INVERSE

(2) E-of Badger

Line	Code	Dir	Lat	Long	Dist	Mag	Mag	Mag	Mag
***** START									
581	INV	S	44 32	48	E	246.03	48.36248	7412.68326	581
582	INV	N	88 27	12	E	911.00	13973.02308	7585.26973	582
583	INV	S	1 22	57	F	1322.15	13997.61192	8495.93783	583
758	INV	S	1 29	22	E	82.13	12675.84566	8527.83941	758
674	INV	N	79 04	22	W	160.47	12593.73873	8529.97440	674
675	INV	S	81 35	38	W	60.06	12624.15763	8372.41580	675
676	INV	N	65 04	22	W	83.81	12615.37701	8312.99676	676
	RADIAL	N	24 55	38	E		12650.69995	8236.99487	677
	DELTA		29 00	00	LT				
	RADIUS					110.50			
	TAN					28.58			
	L-ARC					55.93			
	RADIAL	N	4 04	22	W				
	RP								
677	CHORD	N	79 34	22	W	55.33	12550.48378	8190.42264	665
	TAN@PT	S	85 55	38	W		12660.71474	8182.57471	678
678	INV	S	85 55	38	W	216.90	12645.33007	7965.22244	679
	RADIAL	N	4 04	22	W				
	DELTA		14 10	00	LT				
	RADIUS					301.50			
	TAN					37.46			
	L-ARC					74.55			
	RADIAL	N	18 14	22	W				
	RP								
679	CHORD	S	78 50	38	W	74.36	12344.57144	7987.63556	662
	TAN@PT	S	71 45	38	W		12630.92326	7893.26988	680
680	INV	S	71 45	38	W	263.05	12548.59221	7643.43705	681
681	INV	S	69 05	38	W	114.28	12507.81358	7536.68203	682
682	INV	S	77 15	38	W	76.93	12490.84945	7461.64660	683
	RADIAL	S	12 44	22	E				
	DELTA		26 00	00	RT				
	RADIUS					80.50			
	TAN					18.58			
	L-ARC					36.53			
	RADIAL	S	13 15	38	W				
	RP								
683	CHORD	N	89 44	22	W	36.22	12569.36780	7443.89505	657
	TAN@PT	N	76 44	22	W		12491.01420	7425.42986	684
684	INV	N	76 44	22	W	75.26	12508.27742	7352.17659	685
685	INV	N	50 54	22	W	92.65	12566.70026	7280.27186	686
686	INV	N	36 22	22	W	86.98	12636.73724	7228.68766	687
687	INV	S	88 22	20	W	36.51	12635.70021	7192.19256	688
688	INV	S	36 22	22	E	111.62	12545.82812	7258.38513	689
689	INV	S	50 54	22	F	103.35	12480.65549	7338.59850	690
690	INV	S	76 44	22	E	82.14	12461.81110	7418.54842	691
	RADIAL	S	13 15	38	W				
	DELTA		26 00	00	LT				
	RADIUS					110.50			
	TAN					25.51			
	L-ARC					50.14			
	RADIAL	S	12 44	22	E				
	RP								
691	CHORD	S	89 44	22	E	49.71	12569.36780	7443.89505	657
	TAN@PT	N	77 15	38	E		12461.58795	7468.26209	692
692	INV	N	77 15	38	E	79.07	12479.02435	7545.38645	693
693	INV	N	69 05	38	E	115.72	12520.31804	7653.48984	694
694	INV	N	71 45	38	E	262.35	12602.43054	7902.65950	695
	RADIAL	N	18 14	22	W				
	DELTA		14 10	00	RT				
	RADIUS					271.50			
	TAN					33.74			
	L-ARC					67.13			
	RADIAL	N	18 14	22	W				

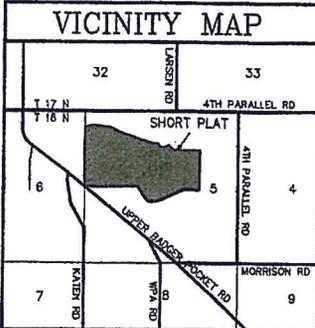
② E of Bed er Cont.

	RADIUS					271.50				
	TAN					33.74				
	L-ARC					67.13				
	RADIAL	N	4	04	22					
	RP									
695	CHORD	N	78	50	38			12344.57144	7987.63556	662
	TAN@PT	N	85	55	38		69.96	12615.38583	7988.35310	696
696	INV	N	85	55	38		215.90	12630.79050	8184.70537	697
	RADIAL	N	4	04	22					
	DELTA		29	00	00					
	RADIUS					80.50				
	TAN					20.82				
	L-ARC					40.74				
	RADIAL	N	24	55	38					
	RP									
697	CHORD	S	79	34	22			12550.49378	8190.42264	665
	TAN@PT	S	65	04	22		40.31	12623.49466	8224.35082	698
698	INV	S	65	04	22					
699	INV	N	81	35	38		92.79	12584.38633	8308.49744	699
700	INV	S	79	04	22		63.94	12593.73290	8371.74627	700
701	INV	S	89	17	38		88.31	12576.99220	8458.45688	701
585	INV	S	70	28	38		404.26	12572.00979	8054.22297	585
586	INV	S	63	00	38		250.40	12488.33049	7818.21887	586
587	INV	S	70	51	38		664.00	12186.98923	7226.53530	587
588	INV	S	89	47	38		184.70	12126.43177	7052.04495	588
589	INV	N	49	39	43		252.27	12125.52403	6799.77645	589
	RADIAL	S	40	20	17		123.84	12205.98754	6705.37811	590
	DELTA		16	00	00					
	RADIUS					261.50				
	TAN					36.75				
	L-ARC					73.02				
	RADIAL	S	56	20	17					
	RP									
590	CHORD	N	41	39	43			12405.01288	6874.64611	591
	TAN@PT	N	33	39	43		72.79	12260.06565	6656.99375	592
592	INV	N	33	39	43					
	RADIAL	N	56	20	17		194.20	12421.70270	6549.35034	593
	DELTA		18	00	00					
	RADIUS					1171.00				
	TAN					185.47				
	L-ARC					367.88				
	RADIAL	N	38	20	17					
	RP									
593	CHORD	N	42	39	43		366.37	11772.62731	5574.70058	594
	TAN@PT	N	51	39	43			12691.11802	6301.07226	595
595	INV	N	51	39	43					
705	INV	N	32	06	19		324.34	12892.30371	6046.67469	705
706	INV	N	4	18	57		15.11	12905.10386	6054.70585	706
707	INV	N	10	48	33		162.91	13067.55447	6042.44616	707
708	INV	N	16	51	55		57.11	13123.65193	6031.73576	708
709	INV	N	19	34	06		45.61	13167.30150	6018.50289	709
710	INV	N	22	23	26		95.06	13256.87215	5986.66393	710
711	INV	N	25	44	23		84.99	13335.45227	5954.29083	711
712	INV	N	30	16	54		46.36	13377.21115	5934.15808	712
713	INV	N	32	54	09		33.03	13405.73355	5917.50312	713
714	INV	N	28	58	35		75.54	13469.16019	5876.46686	714
715	INV	N	23	00	38		34.22	13499.09217	5859.89149	715
716	INV	N	21	16	17		136.32	13624.56769	5806.60297	716
717	INV	N	26	01	50		165.20	13778.51560	5746.66965	717
718	INV	N	39	27	23		149.00	13912.40174	5681.28055	718
757	INV	N	38	56	31		48.04	13949.49714	5650.74873	757
719	INV	N	36	08	18		64.24	13999.46320	5610.37089	719
720	INV	N	40	52	14		121.17	14097.31901	5538.91319	720
721	INV	N	46	13	33		51.54	14136.29637	5505.18487	721
722	INV	N	40	37	07		135.43	14229.97498	5407.38588	722
							110.18	14313.60749	5335.65687	723

700	INV	S	79	04	22	E	88.31	12576.99220	8458.45688	701
701	INV	S	89	17	3	W	404.26	12500.00979	8054.22297	585
585	INV	S	70	28	3	W	250.40	12480.33049	7818.21887	586
586	INV	S	83	00	38	W	634.00	12188.98923	7226.53530	587
587	INV	S	70	51	38	E	184.70	12126.43177	7052.04495	588
588	INV	S	89	47	58	W	252.27	12125.52403	6799.77645	589
589	INV	N	49	39	43	W	123.84	12205.88754	6705.37811	590
	RADIAL	S	40	20	17	W				
	DELTA		18	00	00	RT				
	RADIUS						261.50			
	TAN						367.75			
	L-ARC						73.02			
	RADIAL	S	56	20	17	W				
	RP							12485.01788	6874.64611	591
590	CHORD	N	41	39	43	W	72.79	12260.08565	6656.99375	592
	TAN@PT	N	33	39	43	W				
592	INV	N	33	39	43	W	194.20	12421.70270	6549.35034	593
	RADIAL	N	56	20	17	E				
	DELTA		18	00	00	LT				
	RADIUS						1171.00			
	TAN						185.47			
	L-ARC						367.88			
	RADIAL	N	38	20	17	E				
	RP							11772.62731	5574.70058	594
593	CHORD	N	42	39	43	W	366.37	12691.11802	6301.07226	595
	TAN@PT	N	51	39	43	W				
595	INV	N	51	39	43	W	324.34	12892.30371	6046.67469	705
705	INV	N	32	06	19	F	15.11	12905.10386	6054.70585	706
706	INV	N	4	18	57	W	162.91	13067.55447	6042.44616	707
707	INV	N	10	48	33	W	57.11	13123.65193	6031.73576	708
708	INV	N	16	51	55	W	45.61	13167.30150	6018.50289	709
709	INV	N	19	34	06	W	95.06	13256.87215	5986.66393	710
710	INV	N	22	23	26	W	84.99	13335.45227	5954.29083	711
711	INV	N	25	44	23	W	46.36	13377.21115	5934.15808	712
712	INV	N	30	16	54	W	33.03	13405.73355	5917.50312	713
713	INV	N	32	54	09	W	75.54	13469.16019	5876.46686	714
714	INV	N	28	58	35	W	34.22	13499.09217	5859.89149	715
715	INV	N	29	00	38	W	136.32	13624.56769	5806.60297	716
716	INV	N	21	16	17	W	165.20	13778.51560	5746.66965	717
717	INV	N	28	01	50	W	149.00	13912.40174	5681.28055	718
718	INV	N	39	27	23	W	48.04	13949.49714	5650.74873	757
757	INV	N	38	56	31	W	64.24	13999.46320	5610.37089	719
719	INV	N	36	08	18	W	21.17	14097.31901	5538.91319	720
720	INV	N	40	52	14	W	51.54	14136.29637	5505.18487	721
721	INV	N	46	13	53	W	135.43	14229.97498	5407.38588	722
722	INV	N	40	37	07	W	110.18	14313.60749	5335.65687	723
723	INV	N	43	24	52	W	142.57	14417.16987	5237.67344	724
724	INV	N	32	06	17	W	48.77	14458.48434	5211.75227	725
725	INV	N	20	13	54	W	44.29	14500.04054	5196.43644	726
726	INV	N	10	59	45	W	25.37	14524.94570	5191.59720	727
727	INV	N	74	26	38	E	23.57	14531.26728	5214.30569	728
728	INV	N	85	11	05	E	100.54	14539.70666	5314.48926	729
729	INV	S	81	59	18	E	330.52	14493.64133	5641.77969	730
730	INV	S	74	47	56	E	142.31	14456.32637	5779.11114	731
731	INV	S	62	39	47	E	405.84	14269.95641	6139.62395	732
732	INV	S	66	12	57	E	92.39	14232.69706	6224.16553	733
733	INV	S	68	23	29	E	372.70	14095.44506	6570.67407	754
754	INV	S	81	54	01	E	339.09	14047.66879	6906.37666	755
755	INV	S	89	44	15	E	300.76	14046.29071	7207.13258	756
756	INV	N	73	51	04	E	115.04	14078.28866	7317.63744	580
580	INV	N	53	36	00	E	118.08	14148.36248	7412.68326	581

(2) E of Badger Cont.

NO CLOSURE ERROR Area = 4478052.40 sq ft 14148.36248 7412.68326 581  
102.80194 ac



### APPROVALS

KITTITAS COUNTY DEPARTMENT OF PUBLIC WORKS  
EXAMINED AND APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITTITAS COUNTY ENGINEER \_\_\_\_\_

KITTITAS COUNTY HEALTH DEPARTMENT  
I HEREBY CERTIFY THAT THE PLAT HAS BEEN EXAMINED AND CONFORMS WITH CURRENT KITTITAS COUNTY CODE CHAPTER 13.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITTITAS COUNTY HEALTH OFFICER \_\_\_\_\_

CERTIFICATE OF COUNTY PLANNING DIRECTOR  
I HEREBY CERTIFY THAT THE DOUBLE K SHORT PLAT HAS BEEN EXAMINED BY ME AND FIND THAT IT CONFORMS TO THE COMPREHENSIVE PLAN OF THE KITTITAS COUNTY PLANNING COMMISSION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITTITAS COUNTY PLANNING DIRECTOR \_\_\_\_\_

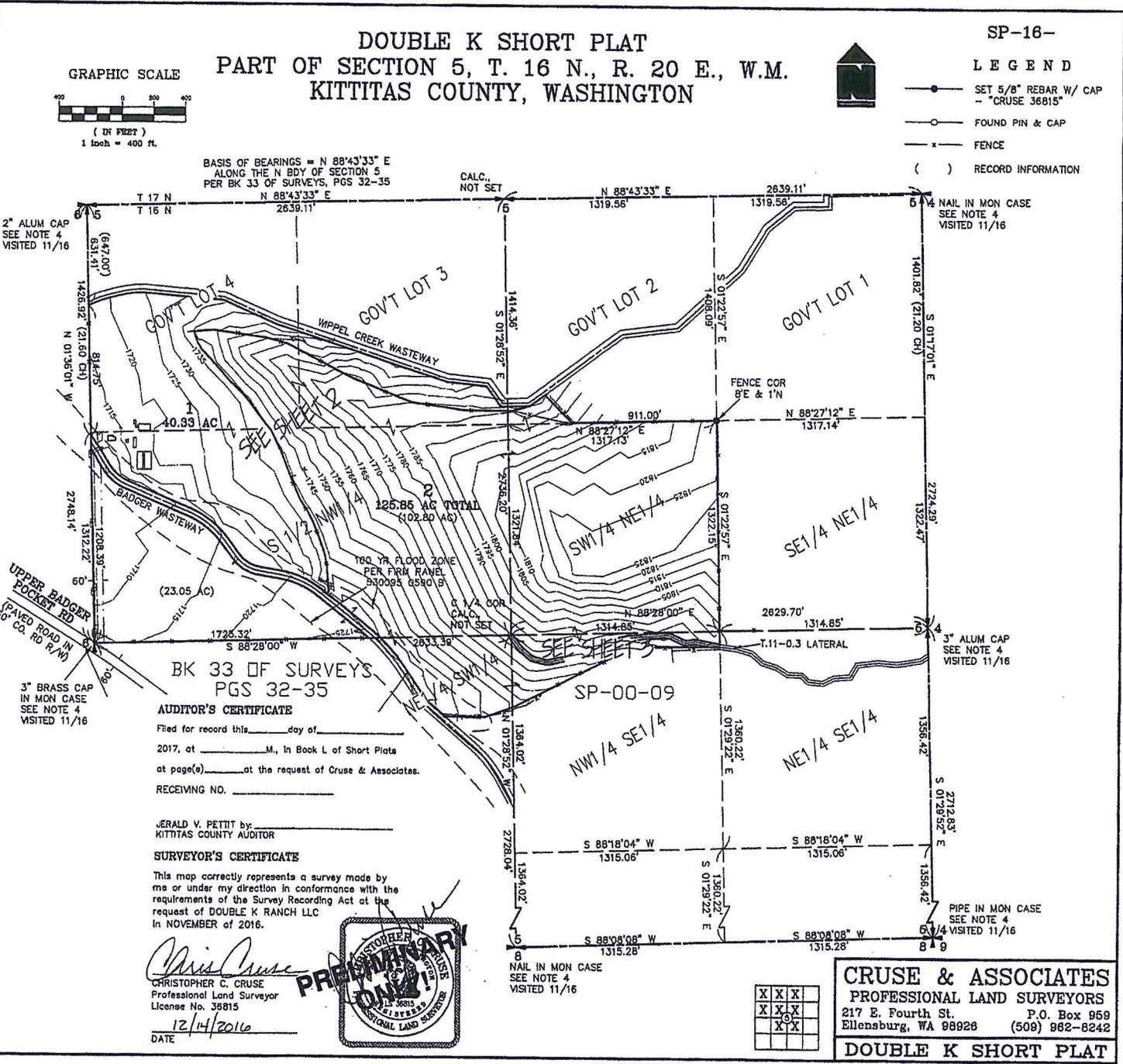
CERTIFICATE OF KITTITAS COUNTY TREASURER  
I HEREBY CERTIFY THAT THE TAXES AND ASSESSMENTS ARE PAID FOR THE PRECEDING YEARS AND FOR THIS YEAR IN WHICH THE PLAT IS NOW TO BE FILED.  
PARCEL NO. 054833  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITTITAS COUNTY TREASURER \_\_\_\_\_

NAME AND ADDRESS - ORIGINAL TRACT OWNERS  
NAME: DOUBLE K RANCH LLC  
ADDRESS: 10161 UPPER BADGER POCKET RD ELLENSBURG, WA 98928  
PHONE: (509) 988-4410  
EXISTING ZONE: AG-20  
SOURCE OF WATER: INDIVIDUAL WELLS  
SEWER SYSTEM: ON SITE SEWAGE SYSTEMS  
STORM WATER: NO IMPROVEMENTS PER THIS APP.  
WIDTH AND TYPE OF ACCESS: COUNTY ROAD R/W  
NO. OF SHORT PLATTED LOTS: TWO (2)  
SCALE: 1" = 400'

SUBMITTED ON: \_\_\_\_\_  
AUTOMATIC APPROVAL DATE: \_\_\_\_\_  
RETURNED FOR CAUSE ON: \_\_\_\_\_

SHEET 1 OF 4



#### AUDITOR'S CERTIFICATE

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 2017, at \_\_\_\_\_ M., in Book L of Short Plats at page(s) \_\_\_\_\_ at the request of Cruse & Associates.

RECEIVING NO. \_\_\_\_\_

JERALD V. PETTIT by \_\_\_\_\_  
KITTITAS COUNTY AUDITOR

#### SURVEYOR'S CERTIFICATE

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of DOUBLE K RANCH LLC in NOVEMBER of 2016.

*Chris Cruse*  
CHRISTOPHER C. CRUSE  
Professional Land Surveyor  
License No. 36815  
12/14/2016  
DATE

PROFESSIONAL LAND SURVEYOR

CRUSE & ASSOCIATES

12/14/2016

X	X	X
X	X	X
X	X	X

**CRUSE & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
217 E. Fourth St. P.O. Box 959  
Ellensburg, WA 98928 (509) 982-8242

### DOUBLE K SHORT PLAT



LEGEND

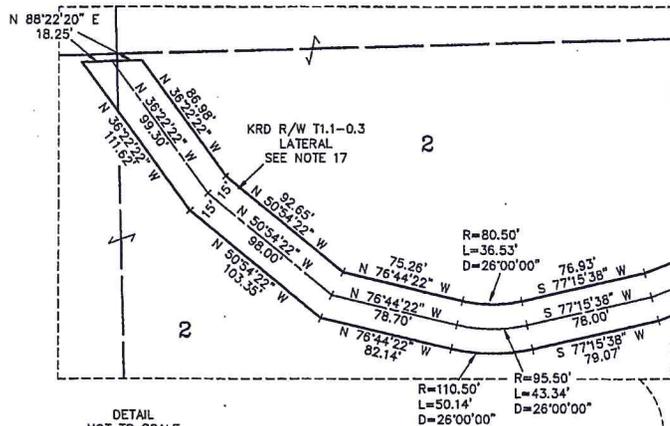
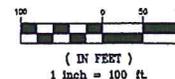
- SET 5/8" REBAR W/ CAP  
"CRUSE 36815"
- FOUND PIN & CAP
- FENCE

## DOUBLE K SHORT PLAT

### PART OF SECTION 5, T. 16 N., R. 20 E., W.M.

### KITITAS COUNTY, WASHINGTON

SP-16-



DETAIL NOT TO SCALE

ORIGINAL PARCEL DESCRIPTION

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTH HALF OF THE NORTHWEST QUARTER; AND THAT PORTION OF GOVERNMENT LOTS 2, 3 AND 4, ALL IN SECTION 5, TOWNSHIP 16 NORTH, RANGE 20 EAST, W.M., IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, LYING SOUTH OF THE SOUTH AND EAST BOUNDARY LINE OF RIGHT-OF-WAY OF THE WIPPEL CREEK WASTEWAY OF THE KITITAS RECLAMATION DISTRICT, AS LOCATED APRIL 1, 1946, DESCRIBED AS FOLLOWS:

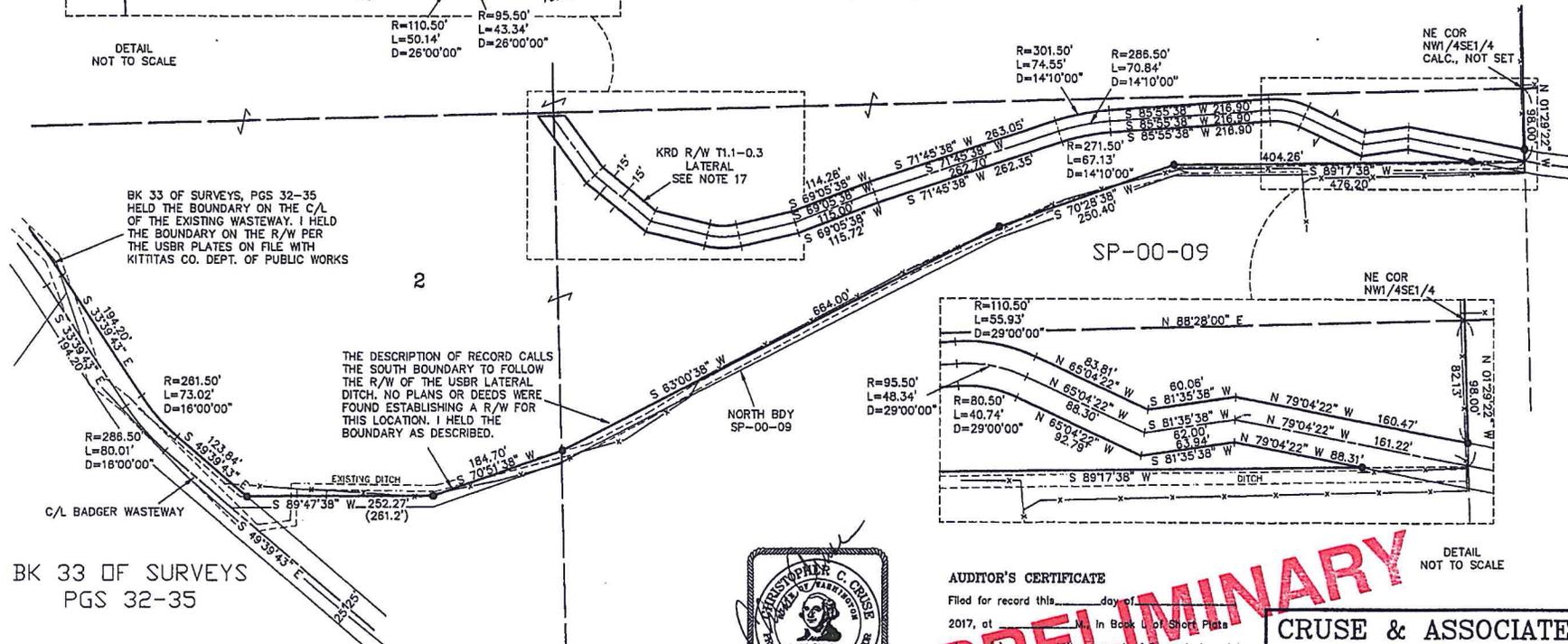
BEGINNING AT A POINT ON THE SOUTH BOUNDARY LINE OF SAID LOT 2, WHICH IS 911.0 FEET WEST OF THE SOUTHEAST CORNER THEREOF, AND RUNNING THENCE NORTH 43°00' WEST, 230.00 FEET TO THE SOUTH BOUNDARY LINE OF THE RIGHT-OF-WAY OF WIPPEL CREEK WASTEWAY; THENCE NORTHWESTERLY ALONG SAID BOUNDARY LINE TO A POINT ON THE WEST LINE OF SAID LOT 4, WHICH IS 647 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE ALONG SAID WEST LINE SOUTH 1°36' EAST TO THE SOUTHEAST CORNER THEREOF; AND EAST TO THE POINT OF BEGINNING;

AND

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, ALL IN SECTION 5, TOWNSHIP 16 NORTH, RANGE 20 EAST, W.M., IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION AND RUNNING THENCE SOUTH ON THE EAST LINE OF SAID QUARTER OF SECTION, 98 FEET TO THE RIGHT-OF-WAY LINE OF THE UNITED STATES BUREAU OF RECLAMATION LATERAL DITCH; THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 89°13' WEST, 476.2 FEET; THENCE SOUTH 71°58' WEST, 250.4 FEET; THENCE SOUTH 64°30' WEST, 66.4 FEET TO THE CENTER SECTION LINE; THENCE SOUTH 72°21' WEST, 184.7 FEET; THENCE NORTH 88°43' WEST, 261.2 FEET TO THE RIGHT-OF-WAY OF BADGER CREEK WASTEWAY; THENCE ALONG SAID WASTEWAY NORTH 48°03' WEST, 181 FEET; THENCE NORTH 45°41' WEST, 449.4 FEET TO THE CENTER SECTION LINE; THENCE 89°59' EAST, 2141.7 FEET TO THE POINT OF BEGINNING.

EXCEPT, RIGHT-OF-WAY FOR CANALS HERETOFORE CONVEYED TO THE UNITED STATES OF AMERICA BY DEED RECORDED IN BOOK 52 OF DEEDS, PAGE 413.



BK 33 OF SURVEYS  
PGS 32-35

SHEET 3 OF 4



12/13/2016

AUDITOR'S CERTIFICATE

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_  
2017, at \_\_\_\_\_ in Book \_\_\_\_\_ of Short Plats  
of Page(s) \_\_\_\_\_ of the request of Cruse & Associates.  
RECEIVING NO. \_\_\_\_\_  
JERALD V. PETTIT by \_\_\_\_\_  
KITITAS COUNTY AUDITOR

PRELIMINARY ONLY

**CRUSE & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
217 E. Fourth St. P.O. Box 969  
Ellensburg, WA 98926 (509) 982-8242  
**DOUBLE K SHORT PLAT**

DETAIL NOT TO SCALE

DOUBLE K SHORT PLAT
PART OF SECTION 5, T. 16 N., R. 20 E., W.M.
KITTTAS COUNTY, WASHINGTON

DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT DOUBLE K RANCH, L.L.C. A WASHINGTON LIMITED LIABILITY COMPANY, THE UNDERSIGNED OWNER AND MORTGAGOR OF THE HEREIN DESCRIBED REAL PROPERTY, DOES HEREBY DECLARE, SUBDIVIDE AND PLAT AS HEREIN DESCRIBED.
IN WITNESS WHEREOF, WE HAVE SET OUR HANDS THIS \_\_\_ DAY OF \_\_\_, A.D., 2017.
DOUBLE K RANCH, L.L.C.

NAME TITLE NAME TITLE

ACKNOWLEDGEMENT

STATE OF WASHINGTON } S.S.
COUNTY OF KITTTAS }
THIS IS TO CERTIFY THAT ON THIS \_\_\_ DAY OF \_\_\_, A.D., 2017, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_ AND \_\_\_ TO ME KNOWN TO BE THE \_\_\_ AND \_\_\_ RESPECTIVELY, OF DOUBLE K RANCH, L.L.C., A WASHINGTON LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT THEY WERE AUTHORIZED TO EXECUTE THE SAID INSTRUMENT.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON RESIDING AT \_\_\_
MY COMMISSION EXPIRES: \_\_\_

DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT KRISTA L. ORSBORN, A MARRIED PERSON AS HER SEPARATE ESTATE, THE UNDERSIGNED MORTGAGOR OF THE HEREIN DESCRIBED REAL PROPERTY, DOES HEREBY DECLARE, SUBDIVIDE AND PLAT AS HEREIN DESCRIBED.
IN WITNESS WHEREOF, I HAVE SET MY HAND THIS \_\_\_ DAY OF \_\_\_, A.D., 2017.

KRISTA L. ORSBORN

ACKNOWLEDGEMENT

STATE OF WASHINGTON } S.S.
COUNTY OF KITTTAS }
THIS IS TO CERTIFY THAT ON THIS \_\_\_ DAY OF \_\_\_, A.D., 2017, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED KRISTA L. ORSBORN TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING DEDICATION AND ACKNOWLEDGED TO ME THAT SHE SIGNED THE SAME AS HER FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON RESIDING AT \_\_\_
MY COMMISSION EXPIRES: \_\_\_

DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT DAVID G. KELLY AND JEANNE D. KELLY, HUSBAND AND WIFE, THE UNDERSIGNED MORTGAGEES OF THE HEREIN DESCRIBED REAL PROPERTY, DO HEREBY DECLARE, SUBDIVIDE AND PLAT AS HEREIN DESCRIBED.
IN WITNESS WHEREOF, WE HAVE SET OUR HANDS THIS \_\_\_ DAY OF \_\_\_, A.D., 2017.

DAVID G. KELLY JEANNE D. KELLY

ACKNOWLEDGEMENT

STATE OF WASHINGTON } S.S.
COUNTY OF KITTTAS }
THIS IS TO CERTIFY THAT ON THIS \_\_\_ DAY OF \_\_\_, A.D., 2017, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED DAVID G. KELLY AND JEANNE D. KELLY, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING DEDICATION AND ACKNOWLEDGED TO ME THAT THEY SIGNED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN MENTIONED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON RESIDING AT \_\_\_
MY COMMISSION EXPIRES: \_\_\_

NOTES:

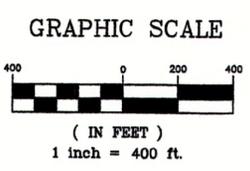
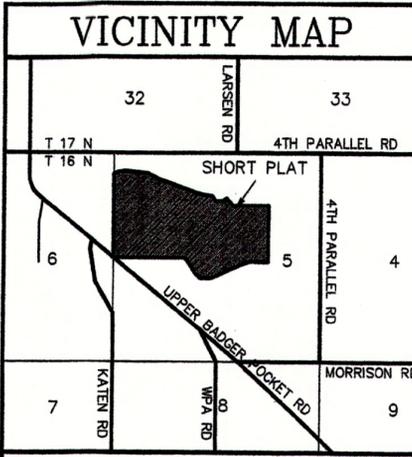
- 1. THIS SURVEY WAS PERFORMED USING A TOPCON GTS SERIES TOTAL STATION AND SURVEY GRADE GPS. ACCURACY COMPLIES WITH THE REQUIREMENTS SPECIFIED IN WAC 332-130-080 AND 090.
2. A PUBLIC UTILITY EASEMENT 10 FEET IN WIDTH IS RESERVED ALONG ALL LOT LINES. THE 10 FOOT EASEMENT SHALL ABUT THE EXTERIOR PLAT BOUNDARY AND SHALL BE DIVIDED 5 FEET ON EACH SIDE OF INTERIOR LOT LINES. SAID EASEMENT SHALL ALSO BE USED FOR IRRIGATION.
3. PER RCW 17.10.140 LANDOWNERS ARE RESPONSIBLE FOR CONTROLLING AND PREVENTING THE SPREAD OF NOXIOUS WEEDS. ACCORDINGLY, THE KITTTAS COUNTY NOXIOUS WEED BOARD RECOMMENDS IMMEDIATE RESEEDING OF AREAS DISTURBED BY DEVELOPMENT TO PRECLUDE THE PROLIFERATION OF NOXIOUS WEEDS.
4. FOR SECTION SUBDIVISION, SECTION AND QUARTER SECTION CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE BOOK 33 OF SURVEYS, PAGES 32-35 AND THE SURVEYS REFERENCED THEREON.
5. MAINTENANCE OF THE ACCESS IS THE RESPONSIBILITY OF THE PROPERTY OWNERS WHO BENEFIT FROM ITS USE.
6. AN APPROVED ACCESS PERMIT WILL BE REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CREATING ANY NEW DRIVEWAY ACCESS OR PERFORMING WORK WITHIN THE COUNTY ROAD RIGHT OF WAY.
7. ANY FURTHER SUBDIVISION OR LOTS TO BE SERVED BY PROPOSED ACCESS MAY RESULT IN FURTHER ACCESS REQUIREMENTS. SEE KITTTAS COUNTY ROAD STANDARDS.
8. KITTTAS COUNTY WILL NOT ACCEPT PRIVATE ROADS FOR MAINTENANCE AS PUBLIC STREETS OR ROADS UNTIL SUCH STREETS OR ROADS ARE BROUGHT INTO CONFORMANCE WITH CURRENT COUNTY ROAD STANDARDS. THIS REQUIREMENT WILL INCLUDE THE HARD SURFACE PAVING OF ANY STREET OR ROAD SURFACED ORIGINALLY WITH GRAVEL.
9. ALL DEVELOPMENT MUST COMPLY WITH INTERNATIONAL FIRE CODE.
10. THE SUBJECT PROPERTY IS WITHIN OR NEAR DESIGNATED NATURAL RESOURCE LANDS OF LONG-TERM COMMERCIAL SIGNIFICANCE ON WHICH A VARIETY OF COMMERCIAL ACTIVITIES MAY OCCUR THAT ARE NOT COMPATIBLE WITH RESIDENTIAL DEVELOPMENT FOR CERTAIN PERIODS OF LIMITED DURATION. COMMERCIAL NATURAL RESOURCE ACTIVITIES PERFORMED IN ACCORDANCE WITH COUNTY, STATE AND FEDERAL LAWS ARE NOT SUBJECT TO LEGAL ACTION AS PUBLIC NUISANCES. (RCW 7.48.305)
11. ACCORDING TO KITTTAS RECLAMATION DISTRICT (KRD) RECORDS, LOT 1 HAS \_\_\_ IRRIGABLE ACRES; LOT 2 HAS \_\_\_ IRRIGABLE ACRES. KRD WATER MAY ONLY BE APPLIED TO IRRIGABLE ACREAGE.
12. FULL PAYMENT OF ANNUAL KRD ASSESSMENT IS REQUIRED REGARDLESS OF THE USE OR NON-USE OF WATER BY THE OWNER.
13. THE LANDOWNERS MUST PROVIDE FOR THE APPOINTMENT OF ONE WATER MASTER FOR EACH TURNOUT, WHO SHALL BE RESPONSIBLE FOR ORDERING WATER FOR THE ENTIRE PLAT. THE WATER MASTER WILL BE RESPONSIBLE FOR KEEPING WATER USE RECORDS FOR EACH LOT. KRD WILL ONLY BE RESPONSIBLE FOR KEEPING RECORDS ON THE TOTAL WATER ORDERED AT THE KRD TURNOUT.
14. KRD OPERATIONS AND MAINTENANCE ROADS ARE FOR DISTRICT USE ONLY. RESIDENTIAL AND RECREATIONAL USE IS PROHIBITED.
15. KRD IS ONLY RESPONSIBLE FOR DELIVERY OF WATER TO THE HIGHEST FEASIBLE POINT IN EACH 160 ACRE UNIT OR DESIGNATED TURNOUT. THE KRD IS NOT RESPONSIBLE FOR WATER DELIVERY LOSS (SEEPAGE, EVAPORATION, ETC.) BELOW THE DESIGNATED TURNOUT.
16. PURSUANT TO KCC 14.08.090 A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY DEVELOPMENT WITHIN THE 100 YEAR FLOODPLAIN.
17. THE KRD (USBR) RIGHTS OF WAY SHOWN HEREON ARE BASED ON R/W PLATES ON FILE WITH KITTTAS CO. DEPT. OF PUBLIC WORKS AND THE DEED RECORDED IN BOOK 52 OF DEEDS, PAGE 413.
18. THE R/W OF BADGER WASTEWAY IS BASED ON R/W PLATES ON FILE WITH KITTTAS CO. DEPT. OF PUBLIC WORKS AND THE DEED RECORDED UNDER AFN 115811. THE DEED CALLS THIS STRIP AS BOTH AN EASEMENT AND RIGHT OF WAY. I EXCEPTED THIS R/W FROM THIS PROPERTY FOR THIS SURVEY TO MATCH THE CURRENT ASSESSORS RECORDS.
19. THE DEED OF RECORD DOES NOT EXCEPT THE CO. ROAD R/W. I EXCEPTED THE SAID R/W FOR THIS SURVEY.

PRELIMINARY ONLY!

AUDITOR'S CERTIFICATE
Filed for record this \_\_\_ day of \_\_\_, 2017, at \_\_\_ in Book \_\_\_ of Short Plats at page(s) \_\_\_ of the request of Cruse & Associates.
RECEIVING NO. \_\_\_
JERALD V. PETTIT by:
KITTTAS COUNTY AUDITOR



CRUSE & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
217 E. Fourth St. P.O. Box 959
Ellensburg, WA 98926 (509) 982-8242
DOUBLE K SHORT PLAT



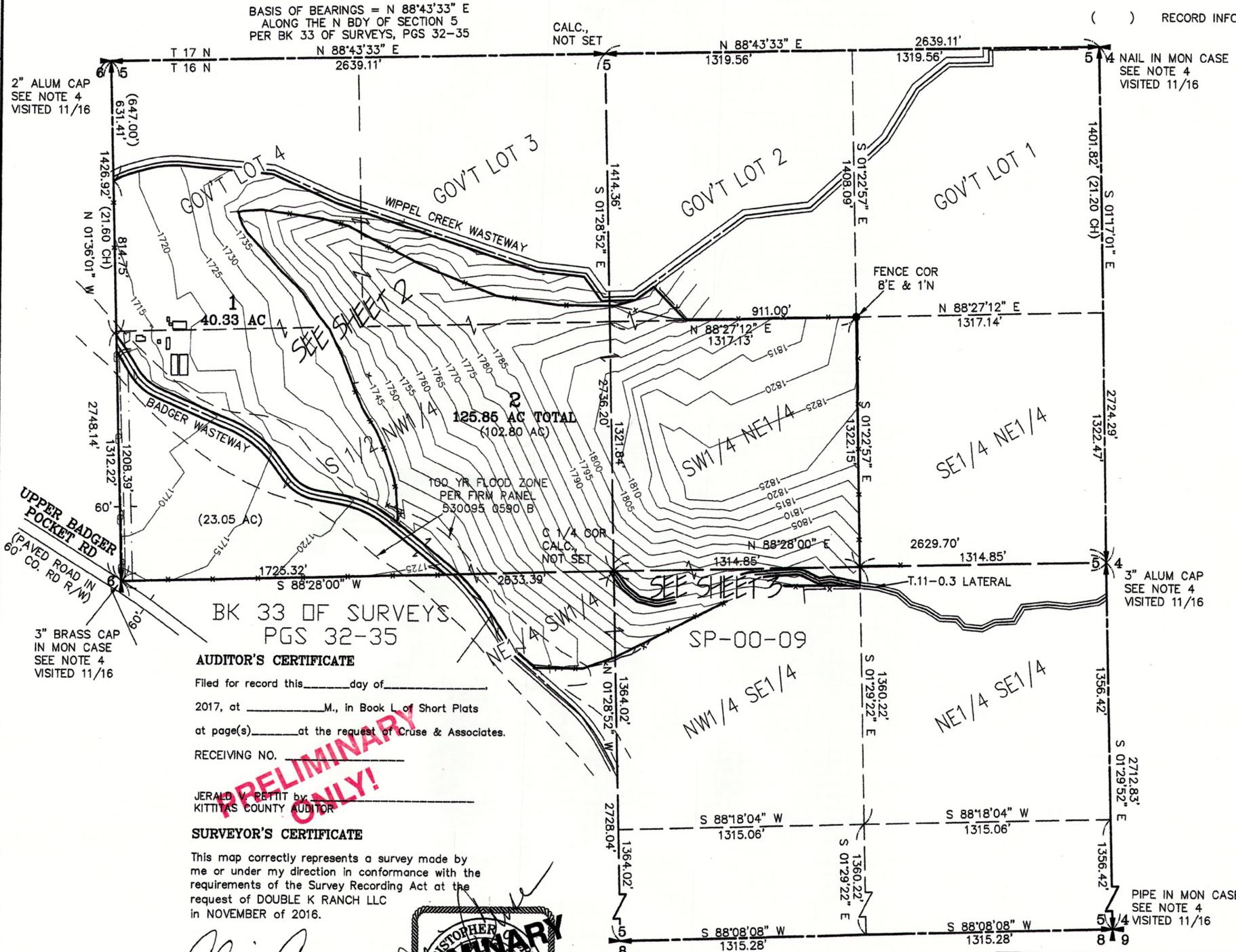
## DOUBLE K SHORT PLAT PART OF SECTION 5, T. 16 N., R. 20 E., W.M. KITITAS COUNTY, WASHINGTON



SP-16-

### LEGEND

- 
- 
- 
- 



### APPROVALS

KITITAS COUNTY DEPARTMENT OF PUBLIC WORKS  
EXAMINED AND APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITITAS COUNTY ENGINEER

KITITAS COUNTY HEALTH DEPARTMENT  
I HEREBY CERTIFY THAT THE PLAT HAS BEEN EXAMINED AND CONFORMS WITH CURRENT KITITAS COUNTY CODE CHAPTER 13.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITITAS COUNTY HEALTH OFFICER

CERTIFICATE OF COUNTY PLANNING DIRECTOR  
I HEREBY CERTIFY THAT THE DOUBLE K SHORT PLAT HAS BEEN EXAMINED BY ME AND FIND THAT IT CONFORMS TO THE COMPREHENSIVE PLAN OF THE KITITAS COUNTY PLANNING COMMISSION.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITITAS COUNTY PLANNING DIRECTOR

CERTIFICATE OF KITITAS COUNTY TREASURER  
I HEREBY CERTIFY THAT THE TAXES AND ASSESSMENTS ARE PAID FOR THE PRECEDING YEARS AND FOR THIS YEAR IN WHICH THE PLAT IS NOW TO BE FILED. PARCEL NO. 054533  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 201\_\_

KITITAS COUNTY TREASURER

NAME AND ADDRESS - ORIGINAL TRACT OWNERS  
NAME: DOUBLE K RANCH LLC  
ADDRESS: 10161 UPPER BADGER POCKET RD ELLENSBURG, WA 98926  
PHONE: (509) 968-4410  
EXISTING ZONE: AG-20  
SOURCE OF WATER: INDIVIDUAL WELLS  
SEWER SYSTEM: ON SITE SEWAGE SYSTEMS  
STORM WATER: NO IMPROVEMENTS PER THIS APP.  
WIDTH AND TYPE OF ACCESS: COUNTY ROAD R/W  
NO. OF SHORT PLATTED LOTS: TWO (2)  
SCALE: 1\" = 400'

SUBMITTED ON: \_\_\_\_\_  
AUTOMATIC APPROVAL DATE: \_\_\_\_\_  
RETURNED FOR CAUSE ON: \_\_\_\_\_

**AUDITOR'S CERTIFICATE**  
Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 2017, at \_\_\_\_\_, M., in Book L of Short Plats at page(s) \_\_\_\_\_ at the request of Cruse & Associates.  
RECEIVING NO. \_\_\_\_\_

JERALD W. PETTIT by \_\_\_\_\_  
KITITAS COUNTY AUDITOR

**SURVEYOR'S CERTIFICATE**  
This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of DOUBLE K RANCH LLC in NOVEMBER of 2016.

*Chris Cruse*  
CHRISTOPHER C. CRUSE  
Professional Land Surveyor  
License No. 36815  
12/14/2016  
DATE

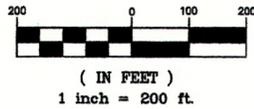


X	X	X
X	X	X
X	X	X

**CRUSE & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
217 E. Fourth St. P.O. Box 959  
Ellensburg, WA 98926 (509) 962-8242  
**DOUBLE K SHORT PLAT**

# DOUBLE K SHORT PLAT PART OF SECTION 5, T. 16 N., R. 20 E., W.M. KITITAS COUNTY, WASHINGTON

SP-16-

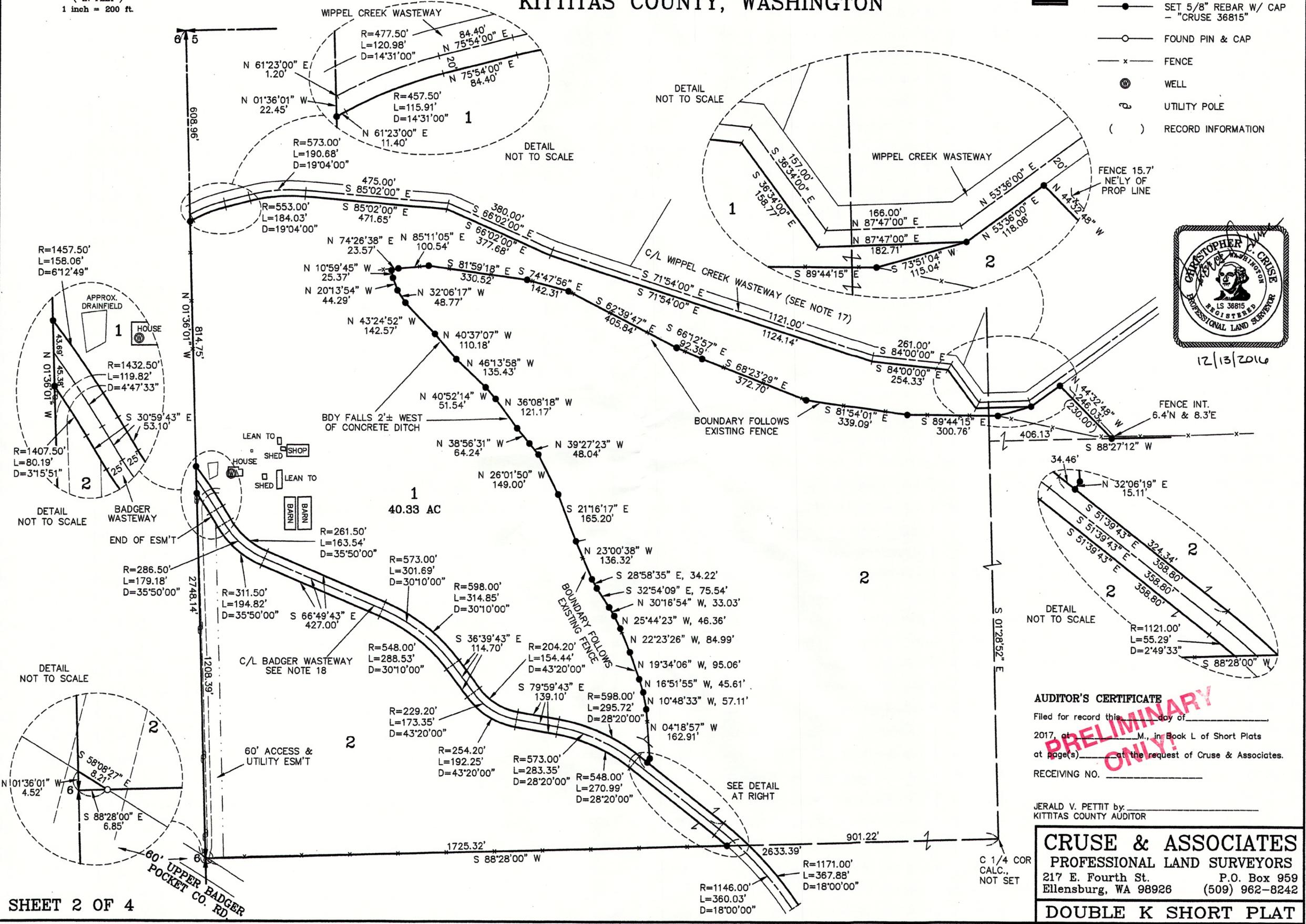


### LEGEND

- SET 5/8" REBAR W/ CAP  
— "CRUSE 36815"
- FOUND PIN & CAP
- x— FENCE
- ⊙ WELL
- ⊕ UTILITY POLE
- ( ) RECORD INFORMATION



12/13/2016



**AUDITOR'S CERTIFICATE**  
 Filed for record this \_\_\_\_\_ day of \_\_\_\_\_  
 2017, at \_\_\_\_\_ M., in Book L of Short Plats  
 at page(s) \_\_\_\_\_ at the request of Cruse & Associates.  
 RECEIVING NO. \_\_\_\_\_  
 JERALD V. PETTIT by: \_\_\_\_\_  
 KITITAS COUNTY AUDITOR

**CRUSE & ASSOCIATES**  
 PROFESSIONAL LAND SURVEYORS  
 217 E. Fourth St. P.O. Box 959  
 Ellensburg, WA 98926 (509) 962-8242

**DOUBLE K SHORT PLAT**

60' UPPER BADGER  
POCKET CO. RD.

C 1/4 COR  
CALC.,  
NOT SET

# DOUBLE K SHORT PLAT

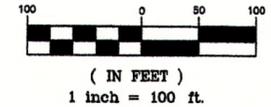
## PART OF SECTION 5, T. 16 N., R. 20 E., W.M.

### KITITAS COUNTY, WASHINGTON

SP-16-

#### LEGEND

- SET 5/8" REBAR W/ CAP  
- "CRUSE 36815"
- FOUND PIN & CAP
- x — FENCE



#### ORIGINAL PARCEL DESCRIPTION

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTH HALF OF THE NORTHWEST QUARTER; AND THAT PORTION OF GOVERNMENT LOTS 2, 3 AND 4, ALL IN SECTION 5, TOWNSHIP 16 NORTH, RANGE 20 EAST, W.M., IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, LYING SOUTH OF THE SOUTH AND EAST BOUNDARY LINE OF RIGHT-OF-WAY OF THE WIPPEL CREEK WASTEWAY OF THE KITITAS RECLAMATION DISTRICT, AS LOCATED APRIL 1, 1946, DESCRIBED AS FOLLOWS:

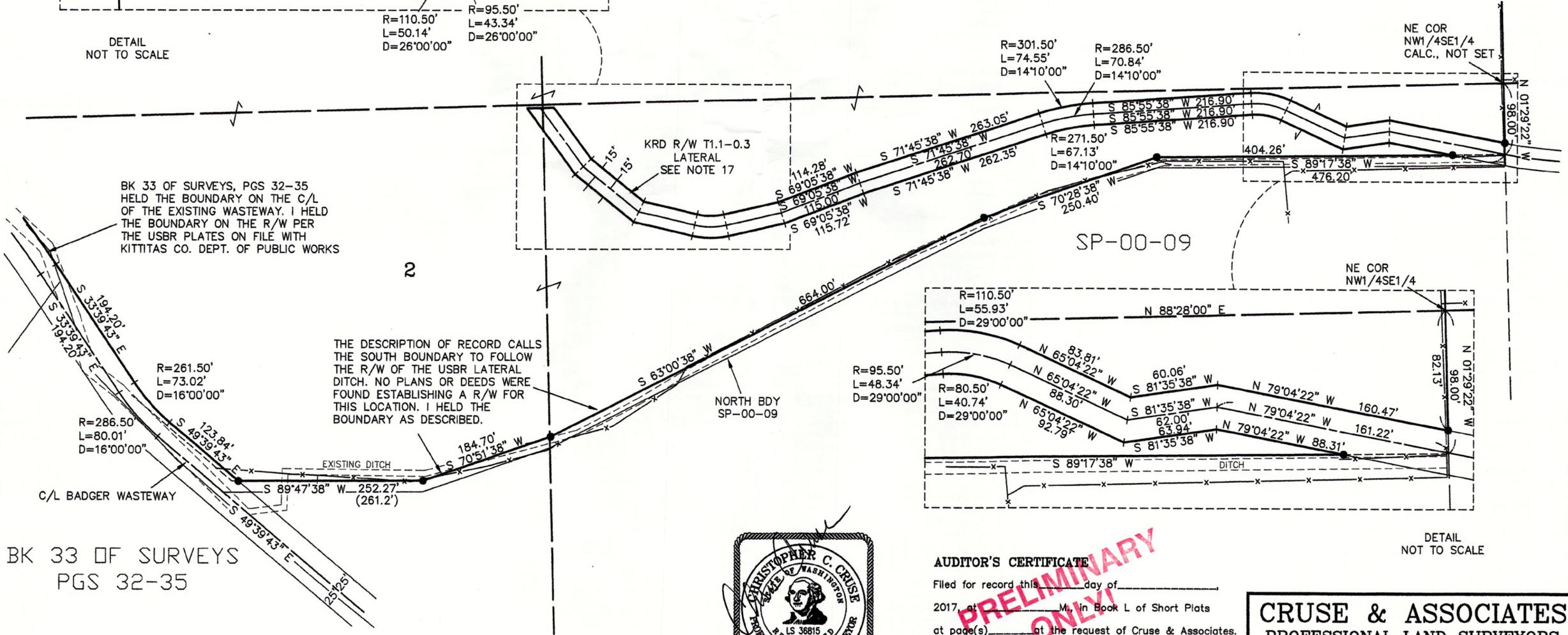
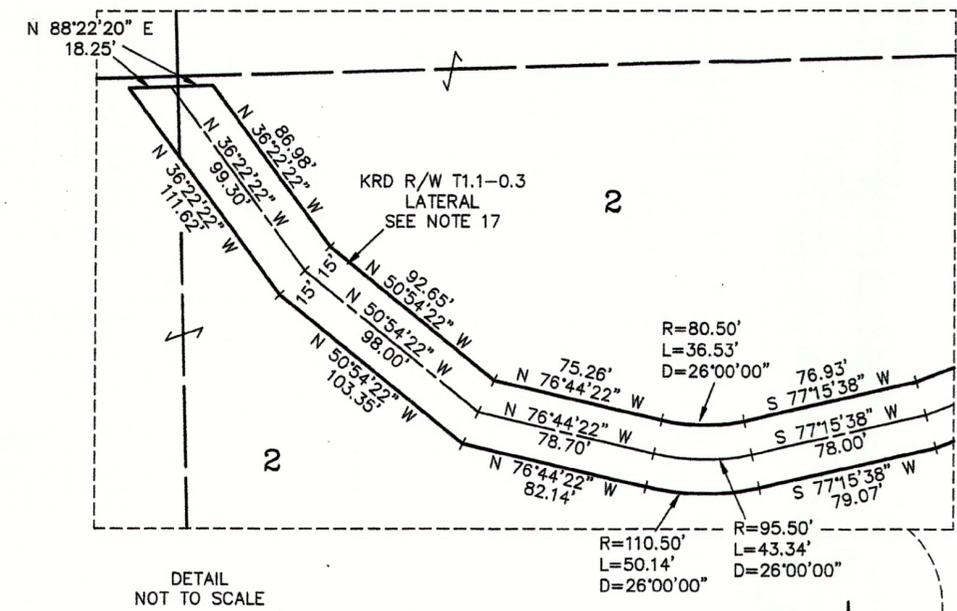
BEGINNING AT A POINT ON THE SOUTH BOUNDARY LINE OF SAID LOT 2, WHICH IS 911.0 FEET WEST OF THE SOUTHEAST CORNER THEREOF, AND RUNNING THENCE NORTH 43°00' WEST, 230.00 FEET TO THE SOUTH BOUNDARY LINE OF THE RIGHT-OF-WAY OF WIPPEL CREEK WASTEWAY; THENCE NORTHWESTERLY ALONG SAID BOUNDARY LINE TO A POINT ON THE WEST LINE OF SAID LOT 4, WHICH IS 647 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE ALONG SAID WEST LINE SOUTH 1°36' EAST TO THE SOUTHEAST CORNER THEREOF; AND EAST TO THE POINT OF BEGINNING;

AND

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER AND OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, ALL IN SECTION 5, TOWNSHIP 16 NORTH, RANGE 20 EAST, W.M., IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION AND RUNNING THENCE SOUTH ON THE EAST LINE OF SAID QUARTER OF QUARTER SECTION, 98 FEET TO THE RIGHT-OF-WAY LINE OF THE UNITED STATES BUREAU OF RECLAMATION LATERAL DITCH; THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 89°13' WEST, 476.2 FEET; THENCE SOUTH 71°58' WEST, 250.4 FEET; THENCE SOUTH 64°30' WEST, 664 FEET TO THE CENTER SECTION LINE; THENCE SOUTH 72°21' WEST, 184.7 FEET; THENCE NORTH 88°43' WEST, 261.2 FEET TO THE RIGHT-OF-WAY OF BADGER CREEK WASTEWAY; THENCE ALONG SAID WASTEWAY NORTH 48°03' WEST, 181 FEET; THENCE NORTH 45°41' WEST, 449.4 FEET TO THE CENTER SECTION LINE; THENCE 89°59' EAST, 2141.7 FEET TO THE POINT OF BEGINNING.

EXCEPT, RIGHT-OF-WAY FOR CANALS HERETOFORE CONVEYED TO THE UNITED STATES OF AMERICA BY DEED RECORDED IN BOOK 52 OF DEEDS, PAGE 413.



BK 33 OF SURVEYS  
PGS 32-35

SHEET 3 OF 4



12/13/2016

#### AUDITOR'S CERTIFICATE

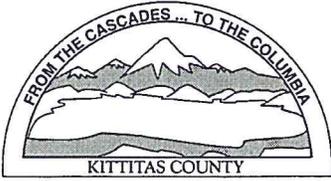
Filed for record this \_\_\_\_\_ day of \_\_\_\_\_  
 2017, at \_\_\_\_\_ M., in Book L of Short Plats  
 at page(s) \_\_\_\_\_ at the request of Cruse & Associates.  
 RECEIVING NO. \_\_\_\_\_  
 JERALD V. PETTIT by: \_\_\_\_\_  
 KITITAS COUNTY AUDITOR

**CRUSE & ASSOCIATES**  
 PROFESSIONAL LAND SURVEYORS  
 217 E. Fourth St. P.O. Box 959  
 Ellensburg, WA 98926 (509) 962-8242

**DOUBLE K SHORT PLAT**

PRELIMINARY ONLY





KITTITAS COUNTY PERMIT CENTER  
411 N. RUBY STREET, ELLENSBURG, WA 98926

**RECEIPT NO.: 00032598**

COMMUNITY DEVELOPMENT SERVICES  
(509) 962-7506

PUBLIC HEALTH DEPARTMENT  
(509) 962-7698

DEPARTMENT OF PUBLIC WORKS  
(509) 962-7523

**Account name:** 032267

**Date:** 12/22/2016

**Applicant:** DOUBLE K RANCH

**Type:** check # 5068

<u>Permit Number</u>	<u>Fee Description</u>	<u>Amount</u>
SP-16-00005	CDS FEE FOR SHORT PLAT	2,320.00
SP-16-00005	EH SHORT PLAT FEE	570.00
SP-16-00005	PUBLIC WORKS SHORT PLAT FEE	220.00
SP-16-00005	FIRE MARSHAL SHORT PLAT FEE	130.00
	Total:	3,240.00